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## \*RESOURCES\*

### WEBSITES

The following websites contain information that may be useful to those rebuilding from hurricanes Katrina, Rita, or other recent storms. Websites are listed alphabetically by the name of the organization.

#### CONGRESS FOR THE NEW URBANISM

The Congress is the organization that organized the historic Mississippi Renewal Forum charrette in October 2005. New Urbanism is an urban design movement that burst onto the scene in the late 1980s and early 1990s. New Urbanists aim to reform all aspects of real estate development. Their work affects regional and local plans. They are involved in new development, urban retrofits, and suburban infill. In all cases, New Urbanist neighborhoods are walkable, and contain a diverse range of housing and jobs. New Urbanists support regional planning for open space, appropriate architecture and planning, and the balanced development of jobs and housing. They believe these strategies are the best way to reduce how long people spend in traffic, to increase the supply of affordable housing, and to rein in urban sprawl. Many other issues, such as historic restoration, safe streets, and green building are also covered in the Charter of the New Urbanism, the movement's seminal document.

<http://www.cnu.org/>

#### DISASTER CONTRACTORS NETWORK

The Disaster Contractors Network shares information and resource matching among government,

the construction community, home and business owners before, during and after disasters strike.

<http://dcnonline.org/>

#### DUANY PLATER-ZYBERK & COMPANY

Andrés Duany and Elizabeth Plater-Zyberk, founders of the New Urbanism, led the Mississippi Renewal Forum charrette in October 2005, and also led three charrettes sponsored by the state of Louisiana for hurricanes Katrina and Rita recovery in February and March 2006. Since its founding in 1980, Duany Plater-Zyberk & Company has completed designs for over 250 new and existing communities. This work has exerted a major influence on the practice and direction of urban planning in the United States. A significant aspect of DPZ's work is its innovative use of planning regulations, including the urban and architectural codes that accompany each design. Tailored to the individual project, the codes address the manner in which buildings are formed and located to ensure that they create useful and distinctive public spaces. Local architectural traditions and building techniques are also codified within the regulations.

<http://www.dpz.com/>

#### FEDERAL EMERGENCY MANAGEMENT AGENCY

The FEMA site is the federal mega-site for disaster recovery assistance. Sub-pages that might be of interest are noted below.

<http://www.fema.gov/>

This is the Mitigation Division page; it contains links to a number of useful areas. Mitigation is the cornerstone of emergency management. It's the on-

going effort to lessen the impact disasters have on people's lives and property through damage prevention and flood insurance.

<http://www.fema.gov/fima/>

This page contains links to the Home Builder's Guide to Coastal Construction Technical Fact Sheet Series.

<http://www.fema.gov/fima/mat/fema499.shtm>

#### GOVERNOR HALEY BARBOUR KATRINA INFORMATION PAGE

This page contains information on federal appropriations for Katrina recovery in Mississippi.

<http://www.governorbarbour.com/KatrinaInformation.htm>

#### GOVERNOR'S COMMISSION

This is the master site of the Mississippi Governor's Commission for Recovery, Rebuilding & Renewal in Mississippi. It contains the final reports that resulted from the Mississippi Renewal Forum megacharrette in October.

<http://www.governorscommission.com/>

#### HURRICANE INFORMATION

This is State of Louisiana information clearinghouse related to Louisiana's recovery from hurricanes Katrina and Rita.

<http://katrina.louisiana.gov/>

#### HURRICANE INSURANCE INFORMATION CENTER

This site contains insurance settlement assistance information.

<http://www.disasterinformation.org/>

#### HURRICANE KATRINA/RITA RELIEF PORTAL

This is a searchable internet database of resources for persons in need as a result of the hurricane.

<http://reliefportal.com/site.php>

#### HURRICANE RECOVERY

This is the White House site that describes current federal recovery efforts.

<http://www.whitehouse.gov/infocus/hurricane/>

#### KATRINA HOUSING

This is a housing services hub for Katrina victims where users can offer up housing space for victims, or hurricane survivors can search for available rooms, houses, apartments, etc.

<http://www.katrinahousing.org/>

#### LOUISIANA DISASTER RECOVERY FOUNDATION

The Foundation was established in the aftermath of hurricanes Katrina and Rita to provide recovery and relief resources.

<http://www.louisianahelp.org/>

#### LOUISIANA RECOVERY AUTHORITY

The Authority is the primary steering agency for reconstruction and redevelopment efforts.

<http://www.lra.louisiana.gov/>

#### LOUISIANA SPEAKS

This is Louisiana Long-Term Recovery Planning site for recovery from hurricanes Katrina and Rita.

<http://www.louisianaspeaks.org/>

#### MISSISSIPPI DEVELOPMENT AUTHORITY

##### OPEN FOR BUSINESS PAGE

This page lists the resources of the Mississippi Development Authority dealing with reconstruction, including sub-pages on the Gulf Opportunity Zone.

<http://www.mississippi.org/content.aspx?url=/page/openbusiness&>

#### MISSISSIPPI HURRICANE RECOVERY

This site is the home of the Mississippi Hurricane Recovery Fund.

<http://www.mississippirecovery.com/>

#### MISSISSIPPI RENEWAL FORUM

This site tracks progress resulting from the historic Mississippi Renewal Forum charrette in October 2005, which was probably the largest planning event in recorded history with a design team of close to 200 people. The plans in this book resulted from that charrette. Read here about how it all began,

including documentation of and the story behind some of the designs as they happened.

<http://www.mississippirenewal.com/>

#### NEW URBAN GUILD

The New Urban Guild site contains a growing roster of design-related hurricane recovery resources. These resources currently are found in the Foundation Tool Foundry, but likely will be in a separate Renewal Tools page not long after the publication date of this book.

<http://www.newurbanguild.com/>

#### NEWSPAPERS

The following newspapers (in alphabetical order) are the largest papers serving areas where there have been major New Urbanist design charrettes since Hurricanes Katrina and Rita. Their websites are typically great sources of local news related to rebuilding. Most include searchable databases of stories dating back to the dates of the storms and before.

The Daily Iberian serves New Iberia, Louisiana.  
<http://www.iberianet.com/>

The Lake Charles American Press serves Lake Charles, Louisiana.  
<http://www.americanpress.com/>

The New Orleans Times-Picayune is a newspaper of national distribution that is based in New Orleans.  
<http://www.nola.com/t-p/>

The Sun-Herald serves the entire Mississippi Gulf Coast.  
<http://www.sunherald.com/>

#### OPEN CHURCHES

This site maintains a database of all participating congregations and their ability to help.  
<http://www.openchurches.com/>

#### PLACEMAKERS

This New Urbanist specialty firm is the online repository for information on Duany Plater-Zyberk & Company's SmartCode. The SmartCode is being used as a template for replacing or providing an alternative to sprawl-based zoning ordinances in communities all along the Gulf Coast.  
<http://www.placemakers.com/>

#### TELEVISION STATIONS

The following television stations (in alphabetical order) are affiliates of major media networks serving areas where there have been New Urbanist renewal & rebuilding design charrettes since Hurricanes Katrina and Rita. Their websites, like those of the newspapers, are often sources of local news related to rebuilding. Stations are only listed here if they maintain a website.

KLTL channel 18 is a PBS television station broadcasting to Lake Charles, Louisiana.  
<http://www.lpb.org/>

KPLC channel 7 is an NBC affiliate television station broadcasting to Lake Charles, Louisiana.  
<http://www.kplctv.com/>

WDSU channel 6 is an NBC affiliate television station broadcasting to New Orleans.  
<http://www.wdsu.com/>

WGNO channel 26 is an ABC affiliate television station broadcasting to New Orleans.  
<http://abc26.trb.com/>

WLAE channel 32 is a PBS television station broadcasting to New Orleans.  
<http://www.pbs.org/wlae/>

WLOX channel 13 is an ABC affiliate television station broadcasting to the Mississippi Gulf Coast.  
<http://www.wlox.com/>

WVUE channel 8 is a Fox affiliate television station broadcasting to New Orleans.  
<http://www.wvltv.com/>

WWL TV channel 4 is a CBS affiliate television station broadcasting to New Orleans.  
<http://www.wwltv.com/>

WYES channel 12 is a PBS television station broadcasting to New Orleans.  
<http://www.wyes.org/>

#### URBAN DESIGN ASSOCIATES

This New Urbanist planning and architecture firm produced A Pattern Book for Gulf Coast Neighborhoods as part of the Mississippi Renewal Forum effort, and is producing another similar pattern book for use in Louisiana. They were pioneers in the recovery of the pattern book as a tool for improving the quality of our built environment.  
<http://www.urbandesignassociates.com/>

## REBUILDING CHECKLIST

You probably know most of these items already, but it never hurts to be reminded. Here are the things that are necessary or desirable before construction begins on your house in the approximate order they need to be completed (although some of them can be worked on concurrently):

#### INSURANCE SETTLEMENT

Have you settled yet with your insurance company? Without a settlement, it makes no sense for most people to proceed with reconstruction, not only because you need the money, but because the insurance adjuster needs to see the current condition of your house in order to proceed with your settlement.

#### FEMA

Which FEMA zone are you in? The new advisory maps have been released. They are not final, and won't be final until probably sometime in 2007. And each city or town has to decide how or whether to adopt the new maps in the interim. This is a lot of uncertainty, and that's bad, because people can't wait 12-18 months to even think about how to rebuild. So what can you count on? Check with your mortgage company to see what they're going to require, but you generally should be able to build based on whatever flood maps are currently adopted by the city. Just make sure that your mortgage company will agree to honor their commitment if more onerous FEMA maps are adopted while your house is under construction. Proceeding without this commitment could lead to the nightmare scenario of a half-completed house that cannot be financed and for which the bank will not loan more construction funds to complete it. We cannot over-emphasize the importance of getting a written agreement from your financial institution concerning this possibility before proceeding with construction.

## UTILITIES

Have all your utilities been restored? It is possible, but inconvenient, to build using a portable generator for electricity. But building without water is much more difficult, so make sure that water service has been restored to your area.

## DESIGN

If you have selected a house plan from this book, then the only design issue you have is which, if any, modifications to make to the house plan. But if you elect not to purchase a house plan, there are generally two other methods of design: buy a pre-designed manufactured or modular home, or get someone to custom-design it.

## CONTRACTOR

Who is going to build your house? Manufactured or modular homes require very little on-site construction, but any other form of design is built mostly on-site (panelized construction) or entirely on-site (conventional construction.) Problem is, the construction industry is going to be stretched to the hilt over the next few years rebuilding the Gulf Coast. There's simply no realistic way around it. So you might want to consider building parts of your house yourself. Many people find this a daunting task, and there's no doubt that there's a lot to learn, but most of the Most-Loved Places in America and around the world were built by people building their own houses, so it certainly isn't impossible.

## COST ESTIMATE

Who is pricing your house? If you hire a builder, they should give you an estimate of construction costs upon which you can base your financing. But if you build the house yourself, you'll need to hire someone to provide the estimate. Don't try to estimate it yourself because if you don't build houses for a living, there will certainly be things that you inadvertently leave out. An estimate that is too low causes numerous problems during construction.

## BUILDING PERMIT

Do you have your permit? Many of the building inspection departments along the Gulf Coast work more quickly than in other parts of the country, but they are certain to be stretched to the limit during the reconstruction process due to the sheer volume of houses that have to be rebuilt. So be sure to allow several weeks for getting your permit.

## CONSTRUCTION INSURANCE

Do you have construction insurance? This is different from your regular homeowner's policy, but is absolutely necessary. A house is much more likely to be destroyed during construction than at any other similar length of time in its life because of all the power tools, torches, chemicals, etc., that are used during the construction process. Sometimes the builder carries the insurance, but check to make sure, because you can't afford to be without it.

## FINANCING

Have you secured your financing? You typically need to have your new design and a price from your builder before getting a loan commitment and construction financing.

## MANUFACTURED ARCHITECTURE

Manufactured Architecture is a design standard built around this simple test: Are the factory-built homes so good that people across the market regularly choose manufactured homes over the best site-built homes designed by notable architects when budget is not an issue?

Obviously, that doesn't happen now... or if it does, it's so rare that the event should be published in trade journals. Many question whether such a standard is even possible. We think it's actually fairly simple, but only if we are willing to do a few things in strikingly different ways from how they're currently done.

The manufactured housing industry has made huge construction quality strides in recent years. Manufactured homes are structurally stronger than many site-built homes, and their interiors are indistinguishable from those in custom-built homes. Yet, manufactured homes are still coded out of many cities and towns across America. Why?

The problem isn't the manufacturing process. Assembly lines are used to create the world's best automobiles, computers, and airplanes. Factories make precisely what the designers tell them to, so the fact that most people still reject manufactured housing tells us that the problem is a design problem.

So that's where we start: with the designers. If we can have designer clothing and designer cars, why not designer manufactured homes? Manufacturing and selling highly sought-after designer homes begins by using the best designers. The designs the Guild is making available come both from well-known names and also from new talent you'll soon know.

Katrina Cottage I at the International Builders' Show in Orlando left no doubt about the fact that design matters. But what sort of design? It was actually a very simple cottage, with exposed rafter tails and simple vernacular details. These designers understand the difference between loading up on expensive details and doing simpler work that resonates so deeply with people that they pull out their checkbooks on the spot. Once, this was common

knowledge. Today, it takes some very special designers to pull it off. Some of the designers represented in this book may participate in this program, possibly using some of these very same designs. The process includes the following steps:

### CONNECTION

The first step is to connect the manufacturer with the designer. Once connected, the manufacturer selects from among the available designs and the designer turns over the design drawings to the manufacturer.

### SHOP DRAWINGS

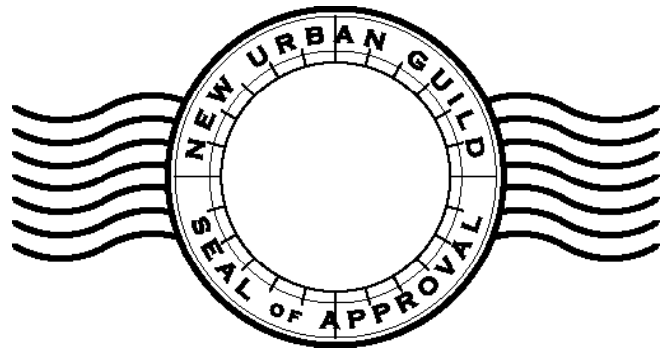
The manufacturer then prepares their normal shop drawings, but instead of going directly into production, they submit them to the designer for review.

### PROTOTYPE

Next, the manufacturer builds one prototype unit and flies the designer to their factory to review the prototype. Corrections are made on the spot. When complete, the designer photographs the unit and sends the photos, the corrected shop drawings and the original design drawings to the Guild.

### CERTIFICATION

Once all documentation has been received, the Guild places the unit on the Roster of Approved Units and notifies the manufacturer that the unit has received the New Urban Guild Seal of Approval.



The New Urban Guild Seal of Approval certifies only the appearance of Approved Units. It does not certify any aspect of construction quality, life safety, structural design, or fire code issues. No existing regulations are affected by this architectural design quality certification. In other words, the Seal of Approval certifies only the aesthetics of the unit. But it is precisely the aesthetics of manufactured housing that have caused the market perception problems that have existed for decades. It doesn't have to be that way, and we're out to prove it. "Designer Homes"... get used to the term.

#### TO BUILD or TO BUY?

Why buy plans and build a house when you can buy a complete factory-built house based on the same design? Everyone has their own reasons for building or buying. Some will choose to build now, while others will wait until they can buy one off the assembly line; we're simply providing the choices.

## FEMA TECHNICAL FACT SHEETS

The largest segment of the Resources chapter is a collection of recommended construction practice illustrations drawn by FEMA. While it is not feasible for the New Urban Guild to verify the accuracy of their designs and drawings, and we therefore assume no liability for them, FEMA is, on the other hand, the national standard-setter for hurricane-resistant construction.

FEMA produced this series of 31 Fact Sheets to provide technical guidance and recommendations concerning the construction of coastal residential buildings. The Fact Sheets present information aimed at improving the performance of buildings subject to flood and wind forces in coastal environments. Photographs and drawings illustrate National Flood Insurance Program (NFIP) regulatory requirements, the proper siting of coastal buildings, and recommended design and construction practices for building components, including structural connections, the building envelope, and utilities. Many of the fact sheets also include lists of FEMA and other resources that provide more information about the topics discussed. Where appropriate, resources are accompanied by active web links.

The pages that we have reproduced here are only a partial selection of the full Home Builder's Guide to Coastal Construction Technical Fact Sheet Series representing those sheets (pages from 7 Fact Sheets out of a total of 31 Fact Sheets) that apply to the greatest number of buildings. But visit their website to determine which other sheets you may need for your building. The entire Series includes the following documents:

- Fact Sheet Cover

- Fact Sheet Guide, Coastal Construction Fact Sheet Series

- Fact Sheet No. 1, Coastal Building Successes and Failures

- Fact Sheet No. 2, Summary of Coastal Construction Requirements and Recommendations

- Fact Sheet No. 3, Using a Flood Insurance Rate Map (FIRM)

Fact Sheet No. 4, Lowest Floor Elevation (included in the following pages)

Fact Sheet No. 5, V-Zone Design and Construction Certification

Fact Sheet No. 6, How Do Siting and Design Decisions Affect the Owner's Costs?

Fact Sheet No. 7, Selecting a Lot and Siting the Building

Fact Sheet No. 8, Coastal Building Materials

Fact Sheet No. 9, Moisture Barrier Systems

Fact Sheet No. 10, Load Paths (included in the following pages)

Fact Sheet No. 11, Foundations in Coastal Areas

Fact Sheet No. 12, Pile Installation

Fact Sheet No. 13, Wood-Pile-to-Beam Connections (included in the following pages)

Fact Sheet No. 14, Reinforced Masonry Pier Construction (included in the following pages)

Fact Sheet No. 15, Foundation Walls (included in the following pages)

Fact Sheet No. 16, Masonry Details (included in the following pages)

Fact Sheet No. 17, Use of Connectors and Brackets (included in the following pages)

Fact Sheet No. 18, Roof Sheathing Installation

Fact Sheet No. 19, Roof Underlayment for Asphalt Shingle Roofs

Fact Sheet No. 20, Asphalt Shingle Roofing for High-Wind Regions

Fact Sheet No. 21, Tile Roofing for High-Wind Areas

Fact Sheet No. 22, Window and Door Installation

Fact Sheet No. 23, Housewrap

Fact Sheet No. 24, Roof-to-Wall and Deck-to-Wall Flashing

Fact Sheet No. 25, Siding Installation and Connectors

Fact Sheet No. 26, Shutter Alternatives

Fact Sheet No. 27, Enclosures and Breakaway Walls (included in the following pages)

Fact Sheet No. 28, Decks, Pools, and Accessory Structures

Fact Sheet No. 29, Protecting Utilities

Fact Sheet No. 30, Repairs, Remodeling, Additions, and Retrofitting

Fact Sheet No. 31, References

All Fact Sheets can be downloaded at the following address:

<http://www.fema.gov/fima/mat/fema499.shtm>